

DEVELOPMENT MANAGEMENT COMMITTEE – 12 MARCH 2025

Application Number	3/22/2321/FUL
Proposal	Demolition of care home. Erection of a 52 bedroomed care home, with hard and soft landscaping, vehicle parking, and associated works
Applicant	Barchester Healthcare
Location	Camellia House Care Home, 34 - 36 Hoe Lane, Ware, Hertfordshire, SG12 9NZ
Parish	Ware Town Council
Ward	Ware

Date of Registration of Application	10 th November 2022
Target Determination Date	21 March 2025 (ETA)
Reason for Committee Report	Major Application
Case Officer	Amit Patel

RECOMMENDATION

That planning permission be **GRANTED** subject to a suitable Legal Agreement and subject to the conditions set out at the end of the report.

1.0 Summary of Proposal and Main Issues

- 1.1 The proposal is for the demolition of the existing care home and erection of a replacement 52 bedroomed care home, with hard and soft landscaping, vehicle parking, and associated works.
- 1.2 The main issues are whether the proposal comprises whether the proposal is policy compliant in respect of the principle of development, urban design and architecture, impact upon heritage asset, neighbour amenity, sustainable transport, environmental impact, and climate change.

2.0 Site Description

- 2.1 The existing care home is placed in a residential area on the southern fringe of Ware. From the submitted existing floor plans there are 24 bedrooms on the first floor and 23 bedrooms on the ground floor totalling 47 bedrooms currently. The site is within Ware Neighbourhood Plan area which has been adopted and therefore has weight to the decision-making process. The rear garden area of the site is within the Green Belt. No built form encroaches into the Green Belt and this land will be retained as garden land for the proposed use.
- 2.2 To the north of the site is a grade II listed building referred to as Highfields Lodge. Highfield Lodge comprises a large residential plot with a one and half storey modern outbuilding to the rear which backs on to the application site. It is noted that there are side facing windows in the side elevation to this building. To the south is 36A Hoe Lane. Both properties to the north and south are residential in use. They are both two storey in form and scale.
- 2.3 To the east of the site is the public highway of Hoe Lane. To the west is the open fields used by The Hale Club and Hertfordshire Rugby Football Club. This area is within the Metropolitan Green Belt.

3.0 Planning History

- 3.1 The following planning history is of relevance to this proposal:

Reference No.	Proposal	Decision	Decision Date
3/84/1150/FP	CONVERSION OF EXISTING DWELLING TO TWO UNITS AND ERECTION OF SIX SINGLE STOREY UNITS FOR OCCUPATION BY ELDERLY PERSONS.	Refuse	19th September 1984
3/84/1586/RP	OLD PERSONS RESIDENCE (APPROVAL OF DETAILS)	Application Withdrawn by Applicant/Agent	2nd November 1984
3/85/0263/FP	NURSING HOME/ELDERLY	Grant Plan Permission w	24th April 1985

	PERSONS RESIDENCE. (SEE 3/0263-85ZA)	Conds	
3/85/0263/ZA	NURSING HOME/ELDERLY PERSONS RESIDENCE - AMENDED SCHEME	Refuse	19th June 1985
3/85/0996/RP	OLD PERSONS RESIDENCE. (SEE 3/0996-85ZA)	Application Withdrawn by Applicant/Agent	26th September 1985
3/85/0996/ZA	OLD PERSONS RESIDENCE - AMENDED SCHEME	Grant Plan Permission	13th November 1985
3/85/1792/OP	CONVERSION AND EXTENSION OF OUTBUILDINGS TO FORM BUNGALOW.	Refuse	5th February 1986
3/86/0380/FP	CHANGE OF USE FROM PRIVATE RESIDENCE TO NURSING HOME CLASS 14	Refuse Appeal allowed	21st May 1986
3/86/1067/FP	CHANGE OF USE FROM PRIVATE RESIDENCE TO ELDERLY PERSONS' ACCOMMODATION.	Grant Plan Permission w Conds	20th August 1986
3/86/1067/ZA	CHANGE OF USE FROM PRIVATE RESIDENCE TO ELDERLY PERSONS' ACCOMMODATION. - AMENDED SCHEME	Refuse Appeal allowed	7th January 1987
3/87/1853/FP	CHANGE OF USE FROM CLASS C2 TO CLASS D1 (RESIDENTIAL TO NON-RESIDENTIAL INSTITUTION)	Refuse	3rd February 1988
3/88/2540/FP	USE OF 34 and 36 HOE LANE AS A NURSING HOME	Grant Plan Permission w Conditions	1st February 1989

	SOLELY FOR THE ELDERLY (THEREBY REMOVING REQUIREMENT FOR COMPLIANCE WITH CONDITION NO.4 OF PLANNING PERMISSION REFERENCE 3/1443-83OP GRANTED IN NOVEMBER 1983) PLUS RETENTION OF EXTERNAL FIRE ESCAPE.		
3/96/1628/LB	SIX ROOM EXTENSION AND INTERNAL ALTERATIONS TO PART OF EXISTING LAYOUT	Permission not required.	29th November 1996
3/96/1629/LB	CONSERVATORY	Permission not required.	29th November 1996

4.0 **Main Policy Issues**

- 4.1 These relate to the relevant policies in the National Planning Policy Framework 2024 (NPPF), the adopted East Herts District Plan 2018 (DP) and the Ware Neighbourhood Plan (Referendum) (NP).

Main Issue	DP policy	NPPF	NP policy
Principle of policy compliance of land uses	DPS1, DPS2, INT1, WARE1	Chapter 2	BP2, BP3, HDP7, HP1
Delivery of Housing	HOU1, HOU2, HOU3, HOU6, HOU7	Chapter 5	W1
Quality of design and landscaping	DES2, DES3, DES4, DES5	Chapter 12	W2
Impacts on neighbour amenity and occupiers	DES4, EQ2, EQ3, EQ4	Chapter 12	

Highway, parking and transport impacts	TRA1, TRA2, TRA3	Chapter 9	
Flood risk and drainage, Climate Change	WAT1, WAT3, WAT4, WAT5, WAT6, CC1, CC2	Chapter 14	
Ecology and Biodiversity	NE2 NE3	Section 15	
Very Special Circumstances	GBR1	Section 13	
Heritage	HA1, HA7	Section 16	W2, W3

Other relevant issues are referred to below in section 8.0 *Consideration of Issues*.

Equality Act 2010

- 4.2 Section 149 of the Equality Act (2010) confirms that a Public Sector Equality Duty (PSED) came into force in April 2011 and requires the Council to consider the equality impacts on all protected groups when exercising its functions. In the case of planning, equalities considerations are factored into the planning process at various stages. The first stage relates to the adoption of planning policies (national, strategic and local) and any relevant supplementary guidance. The policies and guidance referenced in the committee report and this updated report have all been subject to an equalities impact assessment (EqIA) therefore, the planning policy framework is considered to meet the first stage in the process. Officers have duly considered the equalities impacts on protected groups in the context of the development proposals, subject to this planning application which is set out in Section 8 of this report.
- 4.3 Other relevant issues are referred to in the 'Consideration of Relevant Issues' section below.

5.0 Summary of Consultee Responses

- 5.1 HCC Highway Authority does not wish to restrict the grant of planning permission, although recommends the inclusion of conditions relating to the site accesses, internal layout, travel plans, construction

management plan and cycle parking as well as Advisory Notes in order to ensure compliance with the provisions of the Highways Act.

- 5.2 EHDC Environmental Health Officer (Contaminated) No objection subject to conditions relating to contaminated land and air quality.
- 5.3 Thames Water advises that if the developer follows the sequential approach to the disposal of surface water there would be no objection. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. With regard to foul water, based on the information provided Thames Water has no objection.
- 5.4 Affinity Water advise that the development is within an Environment Agency defined groundwater Source Protection Zone and therefore the applicants will need to contact their infrastructure connections and diversions team.
- 5.5 The Lead Local Flood Authority raise no objection to the proposal subject to conditions.
- 5.6 EHDC Conservation and Urban Design Advisor: Amendments have been provided. These changes overcome the concerns initially raised and therefore it is considered that less than substantial harm to the significance of the listed building compared to the existing situation.
- 5.7 HCC Historic Environment Unit: The submitted Heritage Impact Assessment which concludes that it is unlikely to have any significant impact upon archaeology.
- 5.8 EHDC Landscape Advisor: The proposal is acceptable in arboriculture and landscaping terms subject to conditions relating to hard and soft landscaping.
- 5.9 HCC Minerals and Waste raises no objection to the application. A Site Waste Management Plan (SWMP) should be produced and conditioned.
- 5.10 HCC Growth and Infrastructure seeks planning obligations for the additional 5 units for Library services and fire and rescue, as well as monitoring.
- 5.11 EHDC Environmental Health (Noise) A noise assessment has been submitted. The Environmental Health Team have updated their

comments and have stated that subject to conditions relating to noise, noise separation, hours of work, notification of building works, dust, waste disposal, piling and lighting. In addition, informatives relating to noise and vibration are recommended.

- 5.12 EHDC Waste Services Vehicle tracking is required. Clinical Waste needs to be stored separately. The scheme for 52 bedrooms would require 2 x 1100lt or 4 by 420lt recycling and 1 by 240 lt paper bin. This can be conditioned.
- 5.13 Ecology: With regards to protected species an updated report has been provided. The report concludes that there is negligible roosting potential. An informative is recommended.

In terms of BNG (non-mandatory), a BNG statement has been provided. As securing the mandatory level of BNG (10%) is not required, a baseline assessment has been provided. A BNG Plan condition is recommended.

The PEA has stated that there is potential for mammals foraging and commuting through the site. An informative is recommended in order to advise a precautionary approach for the development. An Arbouriculture Report has been submitted which considers the potential for nesting birds. The PEA has confirmed that there are birds present at the site, and considering that trees T7 and T8 are to be removed there is a high probability that these trees are used by nesting birds. To reduce any risk to wild birds through the development an informative is recommended.

The proposal is acceptable subject to conditions.

NB: Officer Comment – These conditions include provision of bat and bird boxes, Biodiversity Net Gain to be set out in a BNG Plan and landscape management and maintenance provisions.

(Note: EHDC, East Herts District Council; HCC, Hertfordshire County Council)

6.0 Town/Parish Council Representations

- 6.1 Ware Town Council has been consulted but no comments have been received.

7.0 Summary of Other Representations

- 7.1 The application was advertised in the press on 24th Nov 2022 and a site notice was placed at the site on 16th November 2022 and a total 34 neighbour consultation letters were distributed over the course of the application process.
- 7.2 During the course of considering the application amendments have been made; amended plans and additional documents were submitted following the initial consultation. As a result of these changes a re-consultation has been undertaken with statutory consultees and the occupiers of dwellings surrounding the site.
- 7.3 During the first round of consultation 21 representations were received, however, some were multiple representations from the same person and their comments are below:

Design and impact upon Heritage Asset

- The size and scale of the proposal will be overbearing and out of proportion and not in keeping;
- Harm to the listed building without substantial public benefit;
- Building coming closer to the Green Belt boundary and reduction in open space;

Residential Amenity

- Overlooking and loss of privacy;
- No proper landscaping provided to determine the impact;
- Increase of additional noise disturbance and nuisance from the larger building will be detriment to the neighbours;
- Construction noise and dust impact to neighbours;
- Loss of light, overshadowing to neighbouring properties;

Highways

- The construction phase will add disruption to Hoe Lane;
- Hazard to other road users;
- No facility for supply and service vehicles;
- Visibility splay is poor;

Other

- In 1996 a councillor requested no further development;
- Loss of TPO trees;
- Has other uses been considered, such as warden assisted;
- Not everyone was notified;
- Boundary impact
- Interest in the application

7.4 Four representations, from The North East Herts Swift Group and Herts and Middx Wildlife Trust were received neither objecting or supporting the proposals on the following grounds:

- Addition of swift boxes should be conditioned;
- Some plans are not visible on the website;
- Hedgehog highways are needed.

7.5 During the second round of consultation, a total of 4 representations were received. 3 representations objected to the application on the following grounds:

- Small changes still would not overcome the issue of the proposal being out of keeping with the general area;
- The construction phase will still cause noise, pollution and dust to nearby neighbours;
- Still object on the grounds of impact on residential amenity, impact on listed building;
- The harm to the listed building is not being assessed properly and no public benefit to overcome less than substantial harm.

7.6 One representation was received that neither objected to or supported the proposal. Their comments are as follows:

- Swift bricks should be conditioned.

7.7 In the Third round of consultation 1 representative has commented.

- Their comments relate to residential amenity,
- loss of light
- Light pollution
- Overlooking and loss of privacy
- Impact on Heritage asset
- The scale and mass of the building on the north end will have a detrimental impact upon the setting of the Listed Building;

- Design lacks justification as to the harm being caused to the Listed Building;
- No public benefit to the scheme to overcome the harm

8.0 Consideration of Issues

Principle of Development

- 8.1 The overall development strategy within the East Herts District Plan as summarised within Policy DPS1 identifies the need to deliver this type of accommodation. Policy DSP2 sets out the hierarchy for where development should go, the policy states that:

The strategy of the District Plan is to deliver sustainable development in accordance with the following hierarchy:

- I. Sustainable brownfield sites;
- II. Sites within the urban areas of Bishop's Stortford, Buntingford, Hertford, Sawbridgeworth and Ware;
- III. Urban extensions to Bishop's Stortford, Hertford, Sawbridgeworth and Ware, and to the east of Stevenage, east of Welwyn Garden City and in the Gilston Area; and
- IV. Limited development in the villages.

- 8.2 The above policies are in line with the NPPF (2025 update) in relation to delivering sufficient supply of homes. Paragraph 61 states that to boost the supply of homes a sufficient amount and variety of land comes forward and the needs of groups with specific housing requirement are addressed. The overall aim is to meet an areas identified housing need, which includes an appropriate mix of housing types for the local community. Officers consider this extends to the provision of accommodation for residents in need of care.

- 8.3 The proposal is within the built-up area of Ware which comprises one of the main five settlements in the District. In terms of hierarchy the proposal would be considered to fall within part I and II of policy DSP2. Policy INT1 seeks that developments should be processed in line with plan policies unless material considerations indicate otherwise. The Planning Balance is set out in the end of this report and concludes whether the proposals amount to sustainable development to benefit from the presumption in favour of approval as set out in Policy INT1.

- 8.4 The NPPF encourages the reuse of brownfield land. Paragraph 124 states "Planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions. Strategic policies should set out a clear strategy for accommodating objectively assessed needs, in a way that makes as much use as possible of previously-developed or 'brownfield' land". Paragraph 125 (c) highlights that substantial weight should be given to "...using suitable brownfield land within settlements for homes and other identified needs,...".
- 8.5 It is considered that the site comprises brownfield land as it is occupied by a permanent structure (the existing care Home). It therefore follows that the proposals are consistent with the NPPF definition of "brownfield land" or "previously developed land as being "Land which has been lawfully developed and is or was occupied by a permanent structure and any fixed surface infrastructure associated with it, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed). The thrust of the NPPF policy guidance that relates to the redevelopment of brownfield land and making efficient use of land is relevant to the proposals. The proposals comprise the redevelopment of an existing care home (which comprises brownfield land) and the erection of a new replacement care home which is considered to make an efficient use of the existing site. The proposals are therefore supported 'in principle' through the NPPF guidance.
- 8.6 District Plan Policy CFLR9 (Health and Wellbeing) requires new health facilities to be located where there is a choice of sustainable travel options and that they are accessible to all members of the community.
- 8.7 District Plan Policy HOU6 (Specialist Housing for Older and Vulnerable People) states that proposals will be supported if located in a sustainable location and within walking distance to shops and services as well as being well integrated into existing communities. The proposed care home would form part of the wider local centre and would therefore benefit from easy access to shops and services, including the proposed surgery. The main amenities are located within the High Street of Ware which is approx 1mile from the site. There are variety of shops including restaurants and drinking establishments as well as convenience stores including Tesco and ASDA.

- 8.8 There is an existing care home on site and the proposal is to replace it with a larger one and increase the number of rooms from current 47 to 52. The current building is part two storey and part 3 storey. The proposed building will also be part two and three storey. The main addition to the building will be rooms in the roof and add built form to the rear of the site in the form of two storey gable projections. From the submitted plans the bulk of the new building will take shape of a "T" form and will not extend forward of the existing care home building line.
- 8.9 In terms of compliance with the updated NPPF, the aims of policy HOU6 are considered to be consistent with the guidance contained in paragraphs 62 and 63 of the NPPF. Paragraph 62 seeks to determine the minimum number of homes needed and paragraph 63, in relation to the proposal here seeks that within the context of establishing the need for different groups in the community should be assessed including those who require retirement housing, housing with-care and care homes. The proposal seeks to increase the number of units on site by 5 bedrooms. Policy HOU6 sets out that there is a need for 530 additional bedrooms needed within the District and this proposal will add to this total. It is also considered that the proposal will result in the modernising and upgrading of the existing facilities which will improve the provisions in the District.
- 8.10 In summary the replacement of the care home complies with the applicable land use policies in the District Plan and comprises a form of development which adheres with the Development Strategy set out the District Plan. The proposed development would contribute to providing a choice of housing for older people/people with care needs and make efficient use of land in accordance with the NPPF.

Quality of design and visual appearance

- 8.11 The NPPF and other Government guidance emphasises the importance of good design in place-making, creating functional places that are well-connected to their surroundings and that encourage sustainable travel. Urban design and architecture must create distinctive places in which to live and work and to visit. They should encourage social interaction and help to build harmony by taking into account the needs of diverse communities. Design and landscaping must take into account climate change and development must enhance biodiversity rather than cause harm. District Plan Policies DES3 and DES4 seek design quality

that respects the constraints of a site and integrates landscaping into the design.

- 8.12 The development would be viewed within the setting of a Listed Building to the north of the site (Highfield Lodge) which is Grade II listed. The proposal should also therefore consider its impact upon heritage asset in accordance with Section 16 of the Listed Buildings and Conservation Areas Act states that the local planning authority shall have "special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses." The specific historic environment policies within the NPPF are contained within paragraphs 202-221.
- 8.13 Paragraph 212 of the Framework outlines that, "When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
- 8.14 Paragraph 213 states that:
- 8.15 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.'
- 8.16 Policies HA1 and HA7 of the East Herts District Plan state that proposals that affect heritage assets seek to preserve or enhance the heritage assets. Policy HA1 also states: "Development proposals that would lead to substantial harm to the significance of a designated heritage asset will not be permitted unless it can be demonstrated that the harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss. Less than substantial harm should be weighed against the public benefits of the proposal".
- 8.17 Policy HA7, part 3 states "Proposals that affect the setting of a Listed Building will only be permitted where the setting of the building is preserved." Policy W2 and W3 of the Ware Neighbourhood Plan also sets out the need to provide good design and conserving heritage assets.

- 8.18 The current building is traditional in appearance with a neo-Georgian style. The general character of the area is of individual designs which are residential in character. The scale of the existing buildings is typical of suburban residential areas, being mainly 2-storeys in height.
- 8.19 The existing care home constitutes a single block which comprises a different form to that of domestic dwellinghouses on smaller plots of land. The current building is two and three storey in height. The proposed replacement building would be two and three storey with rooms in the roof. The fenestration details would be modern in appearance with a mix of palette of materials, however, the materials recommended would not be out of character with the wider area.
- 8.20 It is noted that the proposed care home is to be constructed with greater bulk and mass compared to the existing building, but this additional built-form would be mainly to the rear of the site which will not be readily visible in the street scene at Hoe Lane. There will be views of the rear and side elevation of the development from Beech Close to the north of the site.
- 8.21 The proposed replacement building is slightly taller than the existing building as shown in the below streetscene. The replacement care home will comprise additional accommodation space within the roof level (as part of a second floor) and this has resulted in the height of the building being slightly taller than the existing building which only parts of the roof contain accommodation space in addition to the second floor element on the southern end. The two immediate properties adjacent to these are residential. In terms of overall increase in height compared to the existing there will be a 2m height increase on the northern end which is adjacent to Highfield lodge and 1.06m height increase adjacent to 36a Hoe Lane. Further analysis of this is provided below in the residential amenity section.



- 8.22 Although the proposals result in a taller building than the existing building, officers note that the NPPF encourages upward additions in paragraph 125 (e) subject to being "consistent with the prevailing

height and form of neighbouring properties and the overall street scene, is well designed (including complying with any local design policies and standards), and can maintain safe access and egress for occupiers. As noted, this is not a residential house like the other properties in the area, there are a variety of designs and considering the existing built form and the proposed it is considered that the proposed development would appropriately relate to the shape and size of the plot and would be compatible with the character and appearance of the street scene.

- 8.23 The building is of a comparable width to the current building. The mass and bulk will be broken up with the fenestration detailing with the use of materials and dormers. The rhythm and pattern of windows and Juliette balconies also help to break up the mass and bulk of the proposed building.
- 8.24 It is noted that the current building is two storeys adjacent to the listed building. The new proposal will be higher due to the different proportions of the roof form which comprises a steeper pitch with a crown roof behind which provides additional internal accommodation. There will be a single storey element towards the rear of the site.
- 8.25 It is noted that there was a change in the roof design from a mansard type roof to a hipped roof adjacent to the listed building and this change has overcome the concerns raised by the Urban Design and Conservation team. There were also concerns regarding the size of the bicycle shelter adjacent to the property to the north. This has been reduced in size which is considered to be acceptable.
- 8.26 Overall, it is considered that the revised proposals will have an improved impact on the setting of the listed building in contrast with the submission scheme. Notwithstanding this, officers still consider the development will amount to less than substantial harm (in NPPF terms) but at the lower end of the sliding scale. There will be clear public benefits to the scheme which include provision of a more modern and sustainable building which accommodates living accommodation for people in need of care. This comprises a significant social benefit as well as an environmental benefit to the area as a result of the improvement to the streetscene. This is afforded further positive weight at the current time as the Council cannot demonstrate a 5-year supply of housing land.

- 8.27 In addition, paragraph 125 (c) of the NPPF states "...that substantial weight should be given to using suitable brownfield land within settlements for homes and other identified needs...". The site is considered brownfield land and the proposals comprise a redevelopment of the existing site.
- 8.28 As part of the submitted information submitted as part of the application a plan setting out the proposed materials to be used. It is considered that these are an appropriate blend and type and considered to be acceptable for the building.
- 8.29 The Landscape officer has also been consulted. The application has been supported by a tree plan and Arboricultural Report. The report states that tree T7 and T8 will require removal. These are category C2 trees and are at the lower end to protect. There will be planting along the northern and southern boundaries which is welcomed and conditions are recommended to provide further details of this.
- 8.30 In summary, the applicants have been willing to collaborate with the Council on design matters and have produced a contemporary design that will create a modern building that would be fit for purpose for a care home. The amended design has addressed the concerns raised by the Conservation Officer and it is considered that the proposal will have a less than substantial harm on the lower end of the scale to the setting of the listed building to the north. It is concluded that the public benefits are sufficient and significant to outweigh the less than substantial harm to the setting of the listed building, therefore complying with the Heritage planning policy guidance in the NPPF.

Neighbour amenity

- 8.31 District Plan Policy DES4 (Design of Development) requires that significant detrimental impact on the amenity of neighbouring occupiers is avoided, by ensuring their environments are not harmed by noise and disturbance, or by inadequate daylight, privacy and overlooking. Noise and light pollution are also relevant matters and the subject of District Plan Policies EQ2 and EQ3 respectively.
- 8.32 Within the submitted Design and Access scheme the applicants have considered impact upon the two adjoining neighbours and set out how the design has been developed to mitigate any overlooking and loss of privacy to the neighbouring amenity space, which is discussed more in detail below.

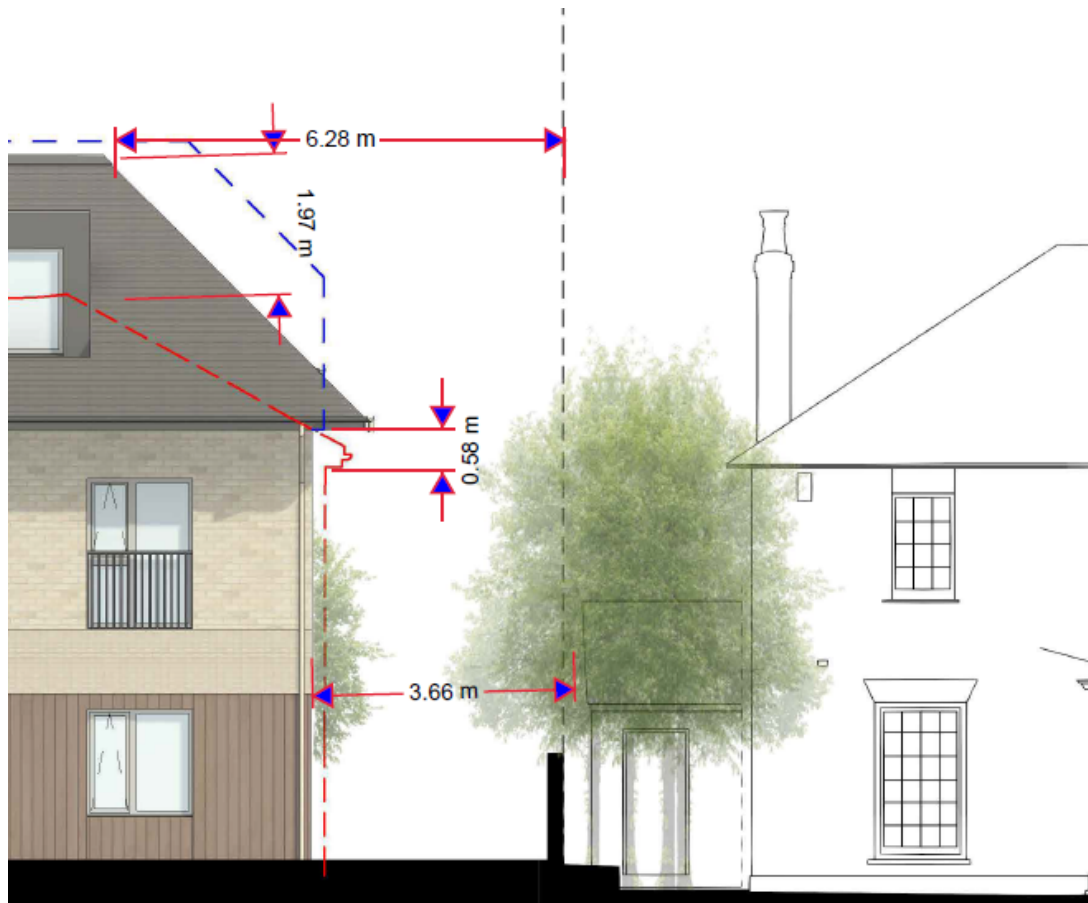
- 8.33 The following block plan indicates the comparison between the existing floorplan of the existing care home (as depicted by the red dotted line) with the proposed development fully illustrated within the full red line.



Highfield Lodge

- 8.34 Highfield Lodge is positioned to the north of the site, there are windows in the side elevation of this property. It is also noted that there is a large annex to the rear part of the garden. The side facing windows in Highfield lodge serve habitable rooms, the front ground floor and first floor would appear as secondary windows, but are screened by the existing high hedge and boundary treatment. There are also a group of trees within the site along the common boundary with Highfield Lodge and the proposed care home that will prove additional screening. Planning history shows that Highfield Lodge has been extended at first floor and there are no windows in that part of the proposal, which was approved under planning reference 3/14/1631/FP.

8.35



The main gable end will be in line with this property and will be set 3.66m away from the common boundary with Highfield Lodge. The proposed care home will increase in height by approximately 2m and have no windows in this element. The two-storey rear wing will be set back from the boundary by approximately 13m. It will have a hipped roof design. The height of the 7.1m to the eaves and 11.5m to the ridge. Taking this separation distance and design it is considered that the proposal will not have any significant impact upon loss of daylight on this neighbour.

8.36 The rear two storey wing is set back from the common boundary and slightly angled. First floor windows will be introduced to this elevation. It is noted that comments relating to outlook and privacy have been received. The first floor windows will have an angled outlook towards the west and will obscure any direct overlooking to this neighbour. A condition is recommended to provide full details of the angle and glazing prior to works above ground level to ensure that there is no significant loss of privacy to this neighbour. A separation of approximately 13, from the windows and the boundary will be provided.

- 8.37 As noted from the snippet of the site plan there will be a distance of 20m or more from the rear windows facing the annex and 13m to the boundary of the proposed rear wing. Under planning approval 3/12/1700/FP the annex does not have habitable windows in the elevation facing the garden of Highfield Lodge, which serve a changing area, gym and a conservatory but considering the proposed distances and the existing screening along this common boundary it is considered that there will be no harmful overlooking, loss of privacy to this neighbour.

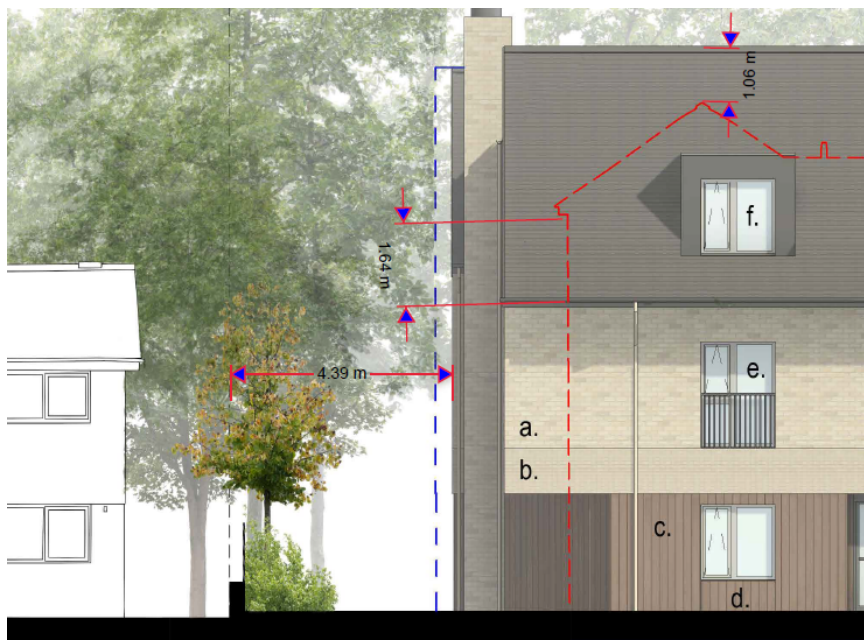


- 8.38 It is noted that that a unit within the roof is proposed to have a hidden terrace. The applicants have provided additional information of this. The cross-section plan shows that the lower part of the roof will measure approximately 2.17m from the floor level of the terrace to the roof and therefore, the absence of any outward viewpoints in a downward direction will mitigate any overlooking to Highfield Lodge.

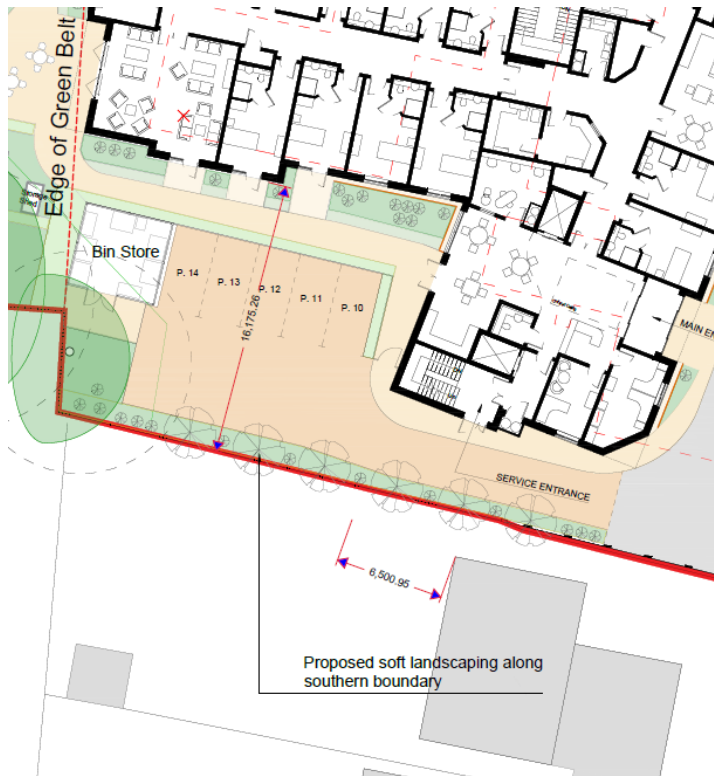
- 8.39 The proposed development will be located to the south of Highfield Lodge. Therefore, the proposals could have potential to result in some loss of daylight or sunlight to rooms within Highfield Lodge which are adjacent to the site. There are 4 windows in the side elevation, as mentioned previously the front two of these windows are screened by the existing high hedge. The frontage of the development will be in line with this property and the side elevation will directly face the side wall of Highfield Lodge. The development would have a hipped roof design supporting a crown roof behind, which is set back from the common boundary by 3.6m. It is recognised that the height of the development will increase by 2m and bulk of the development would appear greater than the existing building.

- 8.40 Officers have visited the site and undertaken an appraisal of the potential impacts upon the conditions within this adjoining property. Due to the separation distances, the angle of the new hipped roof and height increase of approx. 2.0m, officers conclude that the proposed additional height and massing of the proposed part of the building which is closest to the neighbour would not have a significant impact in terms of causing any loss of daylight or sunlight from affecting the adjacent rooms within Highfield Lodge. It is noted that the occupiers may experience some change to the lighting levels within the rooms/halls affected, but this change is not anticipated to be significant enough to affect living conditions within this dwelling.
- 8.41 The two-storey rear element will be approximately 13m from the common boundary and have a pitched roof design, which angles away from this neighbour. As noted above the annex to the rear part of the garden will be adjacent to the proposed single storey element and will be separated by 13m from the proposed two storey wing and it is considered that due to the separation distance and design of the rear two storey wing it will not give rise to any significant impact upon this neighbour through loss of daylight or sunlight from within the property.

36a Hoe Lane



8.42 This property is positioned to the south of the proposed development site. The existing care home extends slightly in front of the frontage of 36a Hoe Lane and there are a number of windows in the side elevation of the existing care home (at ground, first and second floors) which are adjacent to the side of 36a Hoe Lane and which have oblique views of the rear garden from the upper levels.



8.43 The replacement building will be set further back into the site by approximately 6.5m therefore reducing the impact on the front facing windows and the area to the front of 36a Hoe Lane. The above block plan indicates the setting back of the proposed building in contrast with the existing three storey element of the existing building. This constitutes an improvement to the existing condition. There is a side access and front area adjacent to the site/ New planting is proposed along this boundary.

8.44 The main rear wing of the development will be set over 16m from the side boundary. There are side facing windows proposed at first and second floors within the gable elements and side flank of the development which is adjacent to the neighbouring property as shown in the below elevation. These appear to overlook the side access passageway adjacent to the flank elevation of 36a Hoe Lane.



- 8.45 The first and second floor windows in the front gable serves the lounge and private dining and will face the side wall of the adjacent property. The second set of windows in the second gable serves the stairs and will give an opportunity to look out over the rear garden of 36a Hoe Lane. It is noted that there is a side access to number 36a and there is a potential for these windows to overlook into this area. However as seen from the site plan above this elevation is slightly angled and will have planting along this boundary to ensure that there is no direct overlooking. However, as the stair well does not serve a habitable space it is considered that a condition to secure that this window is obscure glazed and fixed shut is appropriate to prevent any overlooking to the garden area of 36a Hoe Lane at this location.
- 8.46 It is noted that the side facing windows in the proposed two storey rear wing of the development facing 36a would not directly overlook any habitable rooms in number 36a.
- 8.47 There will be windows in the first and second floor, which serve habitable rooms in the development. These windows look towards the rear garden area of the adjacent property. There is a minimum separation distance of approximately 16m from window to the common boundary. The site plan shows that soft planting will be installed along the common boundary and therefore will mitigate any overlooking towards this neighbour. A landscaping condition is recommended to ensure that this is delivered.
- 8.48 Due to the design, position, the intervening row of proposed planting features and separation distance from the development there is unlikely to be any significant overlooking impact upon the garden area and the proposals will therefore not materially affect the overall enjoyment of the garden space at no.36A. Officers consider that the proposals will not result in any loss of daylight or sunlight to this neighbour's windows or habitable rooms within the property.

Future Occupiers

8.49 The Environmental Health Team originally had concerns over the impact of the plant on the future occupiers and neighbours. The applicants have provided a detailed noise assessment, which states that the following plant is to be used in the development:

- a ventilation system for the kitchen, with atmospheric terminations just above roof level;
- large heat pumps to supply low temperature hot water (LTHW) for space heating;
- large VRF condensers to provide space cooling;
- small air conditioning condensers for the three Drugs Rooms and the Comms Room. The Environmental Health Team have subsequently removed their objection, recommending conditions, as the Noise Assessment confirms that the proposed plant is unlikely to impact on the future occupiers in the development or neighbouring occupiers.

8.50 It is considered that the layout, orientation, and design of the development would help to ensure that the proposed units of accommodation contain good levels of light, adequate privacy levels and are not subject to overbearing or overshadowing. In addition, the proposed development and the associated garden areas are considered appropriately sized and fit for purpose.

8.51 Third party comments have been received regarding light pollution. The Environmental Health Team have not raised this as an issue but have recommended a condition relating to external lighting.

8.52 The proposed care home building is considered to be sufficiently located away from other neighbouring dwellings to prevent detrimental impacts from occurring.

Subject to conditions, it is considered that a satisfactory level of amenity would be achieved for the future occupiers of the proposed care home development, in accordance with policy DES4.

Summary of Amenity Impacts

8.53 The proposed development has been designed to consider the impact of the increased scale of building on adjacent occupiers and future occupiers in the development. Officers consider that the proposals will not give rise to any significant adverse impact on the amenity of

adjoining occupiers within the nearest dwellings, subject to conditions. The living conditions of occupiers within the development will also be adequate. The proposals are therefore compliant with policy DES4 of the District Plan.

Highway, parking and transport impacts

- 8.54 Policy TRA2 of the District Plan outlines that development should ensure safe and suitable access. Policy TRA3 outlines that suitable parking provision must be provided in line with the Council's Parking SPD.
- 8.55 The site is accessed off Hoe Lane which is considered acceptable. The proposed cycle and pedestrian routes circulate through the site and connect with the existing infrastructure.
- 8.56 The Highway Authority have commented that the proposal will utilise the existing access to the south and the northern access will be shut.
- 8.57 The proposal will deliver 14 car parking spaces including 2 disabled spaces. The car parking SPD states for the development of this nature should provide:
- 0.25 parking spaces per resident bed space.
 - 1 short term cycle parking space per 20 beds.
 - 1 long term cycle parking space per 10 staff on duty at any one time.
 - Individual parking space for each disabled employee plus 2 disabled spaces or 5% of total capacity, whichever is greater.
- 8.58 A dedicated cycle store has been provided which will be enclosed and secured as well as visitor spaces. In accordance with the Cycle Parking Standards a total of 3 short term spaces and 2 long term spaces are required. No details have been provided regarding the numbers and design and therefore it is considered that full details of the cycle store are conditioned.
- 8.59 HCC Highways have commented that the cycle store has been reduced in size. This was recommended by planning and design officers due to the relationship it had with the adjacent Listed Building. Therefore, a balance has to be had between the conflicting interests of safeguarding the setting of the listed building with the need for provision of a cycle store that would serve the development.

- 8.60 Subject to conditions, it is considered that the proposal is acceptable from a highways point of view and in accordance with policies TRA1, TRA2 and TRA3 of the East Herts District Plan (2018), Car Parking (SPD) and guidance in the NPPF.

Sustainability and Climate Change

- 8.61 Under policies CC1 and CC2 of the District Plan, all proposals must demonstrate how the design, materials, construction, and operation of the development would minimise overheating, reduce the need for heating, integrate green infrastructure and minimise carbon dioxide emissions.
- 8.62 Under policy WAT4 of the District Plan, development must minimise the use of mains water through water saving measures, the recycling of grey water, and reducing mains water consumption.
- 8.63 An Energy and Sustainability Statement has been submitted. The development would reduce energy usage through the installation of highly efficient fabric, ventilation, and heating systems, together with an air-tight build. The Statement confirms that the proposal would meet Building Regulations L and O which require developments to conserve fuel and power and prevent overheating.
- 8.64 A range of potentially appropriate low carbon or renewable technologies have been considered in the Statement and it has been concluded that solar panels, air source heat pumps and combined heat and power is the most viable technology for the site. A plant room is provided within the basement area which would need to ensure it is sufficiently sized to accommodate the selected technology required to support the development. Final specification and details of the proposed low carbon or renewable technology have not been provided as part of the application, but the supporting statement demonstrates how it is possible for the development to meet the requirements (by indicating the technologies which are feasible) of the policies save for the detailed design being conditioned.
- 8.65 The report further adds that for ventilation and cooling a detailed design of the plant will be designed later. This will allow for a more appropriate ventilation strategy in combination with other factors such as position of the dwelling and noise assessment. It is considered that a suitable condition would be appropriate to control this.

- 8.66 It is considered reasonable to request conditions to ensure that the development is carried out in accordance with minimum standards set out in the Energy and Sustainability Statement. Details of the air source heat pumps and other plant shall be submitted to and approved by the Local Planning Authority at a later stage, and can be secured by a planning condition.
- 8.67 Low and reduced water demand fittings such as taps, showers and water consuming appliances will be provided to individual homes helping to reduce water demand from the development. All dwellings on the site shall achieve a water conservation standard of 110 litres per person per day (as required by policy WAT4). A condition can be added to secure this.
- 8.68 It is therefore considered that sufficient information has been submitted to demonstrate compliance with policies CC1, CC2 and WAT4 of the District Plan.

Flooding and Drainage and SUDS

- 8.69 Policy WAT1 of the District Plan states that development proposals should neither increase the likelihood or intensity of any form of flooding, nor increase the risk to people or property on site and to neighbouring land or further downstream. Policy WAT3 of the District Plan states that development proposals will be required to preserve or enhance the water environment.
- 8.70 The site is within flood zone 1 which is within a low risk area. The applicants have submitted a Flood Risk Assessment.
- 8.71 With regards to Sustainable Urban Drainage Systems (SUDS) the applicants have submitted details within the Flood Risk Assessment of the proposed SUDS. Initially the Local Lead Flood Authority objected to the details relating to SUDS but the applicants provided further details. The Local Lead Flood Authority have removed their objections and now consider the application acceptable subject to condition.
- 8.72 Affinity Water raise no objection. The site is within groundwater Source Protection Zone (SPZ). Construction works and operation of the proposed development site should be done in accordance with the relevant British Standards and Best Management Practices, thereby significantly reducing the groundwater pollution risk.

- 8.73 Any works involving excavations below the chalk groundwater table (for example, piling or the implementation of a geothermal open/closed loop system) should be avoided. If these are necessary, a ground investigation should first be carried out to identify appropriate techniques and to avoid displacing any shallow contamination to a greater depth, which could impact the chalk aquifer. In terms of water efficiency, it is expected that water efficient fixtures and fittings are to be installed. In addition, any new or upgrade to connections will require the developer to contact Developer Services and subject to the developers contacting the infrastructure and diversion team. This can be recommended via an informative.
- 8.74 Thames Water raise no objection subject to the developers contacting Thames Water with regards to surface water and ground water discharge. Thames Water have stated that the developers will need to demonstrate that the development will minimise groundwater into a public sewer. A Ground Water Risk Management permit will be required, and the developer will be required to contact Thames Water to provide the necessary information regarding ground water discharge.
- 8.75 With regards to surface water the developer is required to follow the sequential approach for the disposal of surface water. If disposal is to be into a public sewer then Thames Water will need to be contacted. Thames Water have also commented that their infrastructure is in close proximity to the development and recommends that the developer checks that the development will not limit repair or maintenance and should read the Thames Water guide on diverting pipes or working in close proximity to their network. With regards to Waste Water and Sewage Treatment Works capacity, Thames Water raise no objection subject to the developer contacting Thames Water prior to commencement of works and therefore an informative is recommended.
- 8.76 It is therefore considered that the proposal would not have an unacceptable impact with regards to flooding and drainage or the water environment, subject to conditions in accordance with policies WAT1 and WAT4 of the East Herts District Plan (2018).

Archaeology

- 8.77 The site is not within an area of Archaeological Significance. The Historic Environment Team have commented that it is unlikely that the

proposal will have any significant impact upon archaeology. The proposal is considered acceptable and in accordance with policy HA3 of the East Herts District Plan (2018) and guidance in the NPPF.

Ecological impact

8.78 Policy NE3 of the local plan states:

- I. Development should always seek to enhance biodiversity and to create opportunities for wildlife. Proposals must demonstrate how the development improves the biodiversity value of the site and surrounding environment. Evidence will be required in the form of up-to-date ecological surveys undertaken by a competent ecologist prior to the submission of an application. The Biodiversity value of a site pre and post development will be determined by applying a locally approved Biodiversity Metric where appropriate. Submitted information must be consistent with BS420202013. Where insufficient data is provided, permission will be refused.
- II. Proposals should detail how physical features will be maintained in the long term.
- III. Development which would result in the loss or significant damage to trees, hedgerows or ancient wood land sites will not be permitted. The Council will seek their reinforcement by additional planting of native species where appropriate. Protective buffers of complementary habitat will be expected to adjoin these features, sufficient to protect against root damage and improvement of their long-term condition. A minimum buffer zone of 10m (or greater if required) is considered appropriate.
- IV. Proposals will be expected to protect and enhance locally important biodiversity sites and other notable ecological features of conservation value.
- V. Proposals should avoid impacting on Species and Habitats of Principle Importance as published under section 41 of the Natural Environment and Rural Communities Act 2006 (or as subsequently amended).
- VI. Where adverse impacts are unavoidable, appropriate mitigation and compensation measures must be employed, commensurate to the importance, the legal protection or other status of the species

or habitat. The District Council will impose conditions/planning obligations which seek to: (a) Facilitate the survival of existing populations as well as encouraging the establishment of new populations;

(VII) Reduce disturbance to a minimum;

(VIII) Provide adequate alternative habitats to sustain at least the current levels of populations. VII. Development adjoining rivers or streams will be required to preserve or enhance the water environment in accordance with Policy WAT3 (Water Quality and the Water Environment). VIII. Integrated bird and bat boxes will be expected in all development bordering public green space and beneficial habitat.

8.79 A Preliminary Ecological Appraisal has been submitted. The report refers to the previous district plan and policies have been updated. It is acknowledged that this is a town centre site. No Biodiversity Net Gain matrix has been provided as the application pre-dates the mandatory BNG requirement. North East Herts Swift Group, Herts and Middx Wildlife Trust have commented on the development. They have recommended conditions relating to bat and swift boxes.

8.80 With regards to Biodiversity Net Gain the applicants have submitted a BNG Statement. The Ecology Team have commented that no Metric has been provided and as this application was submitted prior to the mandatory requirement then the proposal should meet the local planning policies. Policy NE2 states:

I. All proposals should achieve a net gain in biodiversity where it is feasible and proportionate to do so, as measured by using and taking into account a locally approved Biodiversity Metric, and avoid harm to, or the loss of features that contribute to the local and wider ecological network.

II. Proposals will be expected to apply the mitigation hierarchy of avoidance, mitigation and compensation, as set out in the NPPF, and integrate ecologically beneficial planting and landscaping into the overall design.

8.81 A Biodiversity Net Gain statement was submitted. The BNG statement has stated that there are 0.93 units on site as part of the baseline assessment. There is no information regarding what the biodiversity net

gain will be, which is required in order to demonstrate compliance with policies NE2 and NE3 of the District Plan. However, officers consider that there is sufficient room within the site to provide a net gain in biodiversity on-site in accordance with the biodiversity hierarchy. Therefore, a suitable condition is recommended which will require the net gain to be secured by way of a requiring the use of a suitable biodiversity metric to indicate the net-gain.

- 8.82 Subject to the condition, it is considered that the proposal is acceptable and is capable of being in accordance with policies NE2 and NE3 of the East Herts District Plan (2018) and guidance in the NPPF.

Infrastructure Requirements

- 8.83 The HCC Growth and Infrastructure team have requested obligations for the development.
- 8.84 The applicants have confirmed that they are happy to agree with the requirement and are working with County Council to finalise this. This could be secured by way of an appropriate legal agreement (i.e. a Unilateral Undertaking or Section 106 Agreement).
- Library Service towards the re-location of Ware Library and increase of its resources and/or provision serving the development (£922 index linked to BCIS 1Q2022)
 - Fire and Rescue Service towards new fire station provision at Hertford to serve the new development and/or provision serving the development (£1903 index linked to BCIS 1Q2022)
 - Monitoring Fees – HCC will charge monitoring fees. These will be based on the number of triggers within each legal agreement with each distinct trigger point attracting a charge of £340 (adjusted for inflation against RPI July 2021). For further information on monitoring fees please see section 5.5 of the Guide to Developer Infrastructure Contributions.
- 8.85 Subject to the completion of a suitable legal agreement, all the above contributions can be secured to mitigate the additional impact of the development in accordance with policies DEL1, DEL2 and DEL3 of the East Herts Local Plan (2018) and HCC's Developer Guide for Infrastructure Contributions.

Other matters

Waste

- 8.86 The Waste Service Team have commented on the application. They have stated that not enough information has been provided but recommend conditions relating to on site storage, swept path analysis.
- 8.87 The Waste and Minerals team have commented on the application. They have commented that due to the scale of the project a Site Waste Management Plan (SWMP) is required in order to minimise waste from demolition, construction and its subsequent occupation, encouraging the re-use of unavoidable waste where possible.
- 8.88 Subject to conditions it is considered that the proposal is acceptable and in accordance with policy DES4 of the East Herts Local Plan (2018) and Policy 12 of the Hertfordshire Waste Core Strategy and Development Management Policies Development Plan Document (2012).

Third Party Representations

- 8.89 It is noted that third party representations have been received regards to the impact of the development on highway safety. However, as set out in the highways section the Highway authority have not raised any objection to the proposal and the applicant to deliver the proposal without having a significant impact on the highway network, subject to conditions.
- 8.90 With regards to the design and heritage impact the applicants have amended the design to ensure that the design and impact on heritage assets is acceptable. The overall scheme replaces the existing care home and provides a modern facility for the new occupiers. This is a brownfield site and therefore is considered to provide a substantial benefit.

9.0 Planning Balance and Conclusion

- 9.1 The report provides officer's comprehensive consideration of the planning application and its supporting documentation, including the further/additional information submitted and any representations received. The report has considered the proposals in light of the

adopted development plan policies and other material considerations or representations relevant to the environmental effects of the proposals.

- 9.2 In the planning balance, the most important policy is compliance with the criteria set out in general policies within the East Herts District Plan (2018) specifically policy HOU6 which requires developments to provide a range of accommodation, in a suitable location, be close to transport and amenities, be integrated with the community and integration of care. Part I of the policy relates to new developments of care homes and therefore not applicable. The increase in the rooms to 52 will support part II of policy HOU6, which seeks to increase the number of bed spaces across the district. The proposed replacement care home facility would make a small contribution towards increasing the supply of bedspaces for older people in need of care in the District (in line with HOU6).
- 9.3 The report above has considered the application against the East Herts District Plan (2018) and the National Planning Policy Framework (2024) it is concluded that the proposal is acceptable and delivers the objectives of the plans as a whole.
- 9.4 The development will provide replacement and additional housing for people with specialised care needs and additional landscaping which will ensure the proposals enhance the appearance of the area and which will benefit to mitigate vista points from outside the site, BNG and ecology gains as well as creating a high-quality design.
- 9.5 The proposal will also attract additional infrastructure contributions for HCC managed services as set out in the Developer Guide, that will mitigate the impact of the development.
- 9.6 Coupled with this, the proposals are considered to be acceptable in relation to access and transport impacts, sustainability, drainage and residential amenity. Subject to financial contributions towards delivery of additional infrastructure, the proposals would not result in undue pressure upon local facilities and infrastructure. Appropriate mitigations for potential impacts around biodiversity / sustainability and water management can be secured by condition. As such the scheme is considered to accord with all relevant District Local Plan policies, neighbourhood plan polices and the NPPF.

RECOMMENDATION

That planning permission is GRANTED subject to the conditions/reasons and the completion of a suitable legal agreement.

Financial contributions set out below:

HCC Contributions

- Library Service towards the re-location of Ware Library and increase of its resources (£922 index linked to BCIS 1Q2022)
- Fire and Rescue Service towards new fire station provision at Hertford to serve the new development (£1903 index linked to BCIS 1Q2022)
- Monitoring Fees – HCC will charge monitoring fees. These will be based on the number of triggers within each legal agreement with each distinct trigger point attracting a charge of £340 (adjusted for inflation against RPI July 2021). For further information on monitoring fees please see section 5.5 of the Guide to Developer Infrastructure Contributions.

Draft Conditions

1. The development to which this permission relates shall be begun within a period of three years commencing on the date of this notice.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990.

2. The development hereby approved shall be carried out in accordance with the approved plans listed at the end of this Decision Notice.

Reason: To ensure the development is carried out in accordance with the approved plans, drawings and specifications.

3. Prior to the commencement of the development, a 'Construction Traffic Management Plan' shall be submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority. Thereafter the construction of the development shall only be carried out in accordance with the approved Plan. The 'Construction Traffic Management Plan' shall identify details of:

- the phasing of construction and proposed construction programme.
- the methods for accessing the site, including wider construction vehicle routing.

- the numbers of daily construction vehicles including details of their sizes, at each phase of the development.
- the hours of operation and construction vehicle movements.
- details of any highway works necessary to enable construction to take place.
- details of construction vehicle parking, turning and loading/unloading arrangements clear of the public highway.
- details of any hoardings.
- details of how the safety of existing public highway users and existing public right of way users will be maintained.
- management of traffic to reduce congestion.
- control of dirt and dust on the public highway, including details of the location and methods to wash construction vehicle wheels, and how it will be ensured dirty surface water does not runoff and discharge onto the highway.
- the provision for addressing any abnormal wear and tear to the highway.
- the details of consultation with local businesses or neighbours.
- the details of any other Construction Sites in the local area.
- waste management proposals.
- signage

Reason: To ensure the safe construction highway safety for all users in accordance with policy TRA2 of the East Herts District Plan (2018) and guidance in the NPPF.

4. The development hereby permitted, shall not begin until a scheme to deal with contamination of land/ground gas/controlled waters has been submitted to and approved in writing by the local planning authority. The scheme shall include all of the following measures, unless the local planning authority dispenses with any such requirement specifically in writing:
 1. A Phase I site investigation report carried out by a competent person to include a desk study, site walkover, the production of a site conceptual model and a human health and environmental risk assessment, undertaken in accordance with BS 10175: 2011 Investigation of Potentially Contaminated Sites – Code of Practice.
 2. A Phase II intrusive investigation report detailing all investigative works and sampling on site, together with the results of the analysis, undertaken in accordance with BS 10175:2011 Investigation of Potentially Contaminated Sites – Code of Practice.

- The report shall include a detailed quantitative human health and environmental risk assessment.
3. A remediation scheme detailing how the remediation will be undertaken, what methods will be used and what is to be achieved. A clear end point of the remediation shall be stated, and how this will be validated. Any ongoing monitoring shall also be determined.
 4. If during the works contamination is encountered which has not previously been identified, then the additional contamination shall be fully assessed in an appropriate remediation scheme which shall be submitted to and approved in writing by the local planning authority.
 5. A validation report detailing the proposed remediation works and quality assurance certificates to show that the works have been carried out in full accordance with the approved methodology shall be submitted prior to [first occupation of the development/the development being brought into use]. Details of any post-remedial sampling and analysis to demonstrate that the site has achieved the required clean-up criteria shall be included, together with the necessary documentation detailing what waste materials have been removed from the site.

Reason: To minimise and prevent pollution of the land and the water environment and in accordance with national planning policy guidance set out in section 11 of the National Planning Policy Framework, and in order to protect human health and the environment in accordance with policy EQ1 of the adopted East Herts District Plan 2018.

5. Prior to the commencement of development, other than demolition, construction drawings of the surface water drainage network, associated sustainable drainage components and flow control mechanisms and a construction method statement shall be submitted and agreed in writing by the local planning authority. The scheme shall then be constructed as per the agreed drawings, method statement, FRA and Drainage Strategy dated June 2023, REF 3490 P03 and supporting information dated 10 November 2023 and remaining in perpetuity for the lifetime of the development unless agreed in writing by the Local Planning Authority. No alteration to the agreed drainage scheme shall occur without prior written approval from the Local Authority.

Reason: To ensure that the development achieves a high standard of sustainability and to comply with NPPF and the Policies WAT1 and WAT5 of East Herts District Council.

6. Prior to the first occupation of development, full details of the on-site storage facilities for waste including waste for recycling shall be submitted to and approved in writing by the local planning authority. Such details shall identify the specific positions of where wheeled bins, will be stationed and walk distances for residents including the specific arrangements to enable collection from the kerbside of the adopted highway/ refuse collection vehicle access point or within 15m. The approved facilities shall be provided prior to the commencement of the use hereby permitted and shall be retained thereafter unless alternative arrangements are agreed in writing by the local planning authority.

Reason: To ensure adequate room is available on site for waste collection in accordance with policy DES4 of the East Herts District Plan (2018) and Waste Core Strategy and Development Management Policies Development Plan Document 2011-2026.

7. No development shall take place until a Site Waste Management Plan (SWMP) for the site has been submitted to the Local Planning Authority and approved in consultation with the Waste Planning Authority. The SWMP should aim to reduce the amount of waste being produced on site and should contain information including estimated and actual types and amounts of waste removed from the site and where that waste is being taken to. The development shall be carried out in accordance with the approved SWMP.

Reason: To promote sustainable development and to ensure measures are in place to minimise waste generation and maximise the on-site and off-site reuse and recycling of waste materials, in accordance with Policy 12 of the Hertfordshire Waste Core Strategy and Development Management Policies Development Plan Document (2012).

8. Prior to any works above ground level of the development hereby approved, details of landscaping shall be submitted and approved in writing and shall include full details of both hard and soft landscape proposals, finished levels or contours, hard surfacing materials, retained landscape features, planting plans, schedules of plants, species, planting sizes, density of planting and implementation timetable and thereafter the development should be implemented prior to the first occupation and in accordance with the approved details.

Reason: To ensure the provision of amenity afforded by appropriate landscape design in accordance with Policies DES3 and DES4 of the East Herts District Plan 2018.

9. Prior to the first occupation of the development hereby approved full details of the circulation route for refuse collection vehicles shall be submitted to the local planning authority and approved in writing. The required details shall include a full construction specification for the route, and a plan defining the extent of the area to which that specification will be applied. No dwelling forming part of the development shall be occupied until the refuse vehicle circulation route has been laid out and constructed in accordance with the details thus approved, and thereafter the route shall be maintained in accordance with those details.

Reason: To ensure adequate room is available on site for waste collection in accordance with policy DES4 of the East Herts District Plan (2018) and Waste Core Strategy and Development Management Policies Development Plan Document 2011-2026.

10. At least 3 months before first occupation, a Travel Plan Statement shall be submitted to and approved in writing by the Local Planning Authority which sets out a scheme to encourage, regulate, and promote sustainable travel measures for staff, visitors and occupiers of the Development in accordance with the provisions of the County Council's 'Travel Plan Guidance for Business and Residential Development'.

Reason: In the interest of sustainable and accessible travel in accordance with policy TRA1 of the East Herts District Plan (2018) and guidance in the NPPF.

11. Prior to first occupation of the development, provision of facilities for cycle storage, to include 2 long term and 3 short term spaces shall be submitted to and approved in writing by the local planning authority. The development shall be implemented in accordance with the approved details.

Reason: To promote alternative modes of transport in accordance with policies TRA1 of the East Herts District Plan (2018) and guidance in the NPPF.

12. Prior to any works above ground level, full details of the angled windows on the north elevation, shall be submitted to and approved in writing by the local planning authority. The development shall then be implemented in accordance with the approved details.

Reason: To protect the amenities of the neighbouring occupiers in accordance with policy DES4 of the East Herts District Plan (2018) and guidance in the NPPF.

13. Prior to erection of above ground superstructure of the development, a noise assessment shall be submitted to and approved in writing by the Local Planning Authority of external noise levels including reflected and re-radiated noise and details of the sound insulation of the building envelope / glazing elements and of acoustically attenuated mechanical ventilation as necessary to achieve the 'good' internal room and external space amenity noise standards in accordance with the criteria of BS 8233:2014 'Guidance on sound insulation and noise reduction for buildings'. This assessment must take all equipment associated with the proposed sustainability solutions into account. No dwellings shall be occupied until the scheme providing protection for those dwellings has been implemented in accordance with the approved details and has been demonstrated to achieve the required noise levels to the satisfaction of the Local Planning Authority. Approved details shall be implemented prior to first occupation of the development and thereafter be permanently retained.

Reason: In order to ensure an adequate level of amenity for future occupiers of the proposed development in accordance with Policy EQ2 Noise Pollution and DES4 Design of Development of the adopted East Herts District Plan 2018.

14. In connection with all site preparation, demolition, construction, conversion and ancillary activities, working hours shall be restricted to 08:00 – 18:00 hours on Monday to Friday, 08:00 – 13:00 hours on Saturdays, and not at all on Sundays or Bank / Public Holidays. Vehicles arriving at and leaving the site must do so within these working hours.

Reason: In order to ensure an adequate level of amenity for nearby residents in accordance with Policy EQ2 Noise Pollution of the adopted East Herts District Plan 2018.

15. Best Practicable Means (BPM) shall be used in controlling dust emissions during all site preparation, demolition, construction and

ancillary activities. In times of exceptionally dry weather, additional measures should be put in place to mitigate against the spread of dust.

Reason: In order to ensure an adequate level of amenity for nearby residents in accordance with Policy EQ4 Air Quality of the adopted East Herts District Plan 2018.

16. All waste materials and rubbish associated with site preparation, demolition or construction shall be contained on site in appropriate containers which, when full, should be promptly removed to a licensed disposal site.

Reason: In order to ensure an adequate level of amenity for nearby residents in accordance with Policy EQ4 Air Quality of the adopted East Herts District Plan 2018.

17. Prior to the commencement of any piling works, details of the method of piling for the construction works, including a method statement and noise emissions, shall be submitted to and approved in writing by the local planning authority. All piling works shall be carried out in accordance with the agreed details.

Reason: In the interests of avoiding potential detrimental impacts on the amenity of occupiers of neighbouring properties in accordance with Policy EQ2 Noise Pollution of the adopted East Herts District Plan 2018.

18. Any external artificial lighting at the development hereby approved shall not exceed lux levels of vertical illumination at neighbouring premises that are recommended by the Institution of Lighting Professionals Guidance Note 9/19 'Domestic exterior lighting: getting it right!'. Lighting should be minimized and glare and sky glow should be prevented by correctly using, locating, aiming and shielding luminaires, in accordance with the Guidance Note.

Reason: In order to ensure an adequate level of amenity for the occupants of nearby properties in accordance with Policy EQ3 Light Pollution and DES4 Design of Development of the adopted East Herts District Plan 2018.

19. Before first occupation of the approved development, the new access serving the development shall be completed in accordance with the approved in principle plan, drawing number F22086/01 Rev A, and

constructed to the specification of the Highway Authority and Local Planning Authority's satisfaction.

Reason: To ensure the provision of an access appropriate for the development in the interests of highway safety and convenience in accordance with policy TRA2 of the East Herts District Plan (2018) and guidance in the NPPF.

20. Before the development hereby permitted is first brought into use, the existing redundant vehicle access onto Hoe Lane not incorporated in the development shall be closed up. This includes raising the existing dropped kerb and reinstating the footway and highway boundary to the same line, level and detail as the adjoining footway and highway boundary, and the removal of carriageway markings as appropriate.

Reason: To limit the number of access points onto the highway where vehicular movements can occur for the safety and convenience of the highway user in the interests of highway safety and convenience in accordance with policy TRA2 of the East Herts District Plan (2018) and guidance in the NPPF.

21. Before the development hereby approved is first brought into use, all on site vehicular areas shall be accessible, surfaced and marked in a manner to the Local Planning Authority's approval so as to ensure satisfactory parking of vehicles outside highway limits. Arrangements shall be made for surface water from the site to be intercepted and disposed of separately so that it does not discharge into the highway.

Reason: In order to minimise danger, obstruction, and inconvenience to users of the highway and of the premises in the interests of highway safety and convenience in accordance with policy TRA2 of the East Herts District Plan (2018) and guidance in the NPPF.

22. Prior to the first occupation of the development hereby approved, a Biodiversity Net Gain Plan, informed by a Small Sites Metric, shall be submitted to and approved in writing by the Local Planning Authority. This Biodiversity Net Gain Plan shall demonstrate that a biodiversity net gain would be achieved on the site. Thereafter, the development shall be implemented in accordance with the approved details.

Reason: To secure a biodiversity net gain, in accordance with Policies NE2 and NE3 of the East Herts District Plan 2018.

23. All existing trees and hedges shall be retained, unless shown on the approved drawings as being removed. All trees and hedges on and immediately adjoining the site shall be protected from damage as a result of works on the site, to the satisfaction of the Local Planning Authority in accordance with BS5837: 2012 Trees in relation to design, demolition and construction, or any subsequent relevant British Standard, for the duration of the works on site and until at least five years following contractual practical completion of the approved development. In the event that trees or hedging become damaged or otherwise defective during such period, the Local Planning Authority shall be notified as soon as reasonably practicable and remedial action agreed and implemented. In the event that any tree or hedging dies or is removed without the prior consent of the Local Planning Authority, it shall be replaced as soon as is reasonably practicable and, in any case, by not later than the end of the first available planting season, with trees of such size, species and in such number and positions as may be agreed with the Authority.

Reason: To ensure the continuity of amenity afforded by existing trees and hedges, in accordance with Policy DES3 of the East Herts District Plan 2018.

24. All existing trees, shrubs, natural and historic features not scheduled for removal, shall be fully safeguarded during the course of the site works and building operations. No work shall commence on site until all trees, shrubs or features to be protected are fenced along a line to be agreed with the Local Planning Authority with 2.3 metre minimum height metal fencing (i.e., weld mesh) to BS5837: 2012 Trees in relation to design, demolition and construction (or any updated British Standard) securely mounted into the ground. Such fencing shall be maintained during the course of the works on site. No unauthorised access or placement of goods, fuels or chemicals, soil or other materials shall take place inside the fenced area. In the event that any tree dies or is removed without the prior consent of the Local Planning Authority, it shall be replaced as soon as is reasonably practicable and, in any case, by not later than the end of the first available planting season, with trees of such size, species and in such number and positions as may be agreed with the Authority.

Reason: To ensure the continuity of amenity afforded by existing trees and hedges, in accordance with Policy DES3 of the East Herts District Plan 2018.

25. All hard and soft landscape works shall be carried out in accordance with the approved details. Any trees or plants that, within a period of five years after planting, are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced as soon as is reasonably practicable with others of species, size and number as originally approved, unless the Local Planning Authority gives its written consent to any variation.

Reason: To ensure the provision, establishment, and maintenance of a reasonable standard of landscaping in accordance with the approved designs, in accordance with policies DES3 and DES4 of the East Herts District Plan 2018.

26. A schedule of landscape maintenance for a minimum period of five years shall be submitted to and approved in writing by the Local Planning Authority and shall include details of the arrangements for its implementation.

Reason: To ensure the provision of amenity afforded by the proper maintenance of existing and/or new landscape features, in accordance with Policy DES3 of the East Herts District Plan 2018.

27. Prior to first occupation of the development hereby approved full details of Electric Vehicle Charging points (at a 1 per every 10 unallocated spaces) shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be provided on site prior to first occupation and retained in perpetuity.

Reason: In order to promote sustainable transport in the District in accordance with Policy TRA1 Sustainable Transport, to minimise air quality impact at the design stage in accordance with Policy EQ4 Air Quality, and to incorporate high quality innovative design, new technologies and construction techniques, including zero or low carbon energy in accordance with Policy DES4 Design of Development of the adopted East Herts District Plan 2018.

28. The development hereby approved shall not be occupied until details of the maintenance and management of the sustainable drainage scheme have been submitted to and approved in writing by the Local Planning Authority. The drainage scheme shall be implemented prior to the first occupation of the development hereby approved and thereafter managed and maintained in accordance with the approved details in perpetuity. The Local Planning Authority shall be granted access to

inspect the sustainable drainage scheme for the lifetime of the development. The details of the scheme to be submitted for approval shall include: I. a timetable for its implementation. II. details of SuDS feature and connecting drainage structures and maintenance requirement for each aspect including a drawing showing where they are located. III. a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime. This will include the name and contact details of any appointed management company.

Reason: To ensure that the development achieves a high standard of sustainability and ensure the flood risk is adequately addressed for each new dwelling and not increased in accordance with NPPF and Policies of East Herts District Council.

29. Upon completion of the surface water drainage system, including any SuDS features, and prior to the first use of the development; a survey and verification report from an independent surveyor shall be submitted to and approved in writing by the Local Planning Authority. The survey and report shall demonstrate that the surface water drainage system has been constructed in accordance with the details approved pursuant of condition 5. Where necessary, details of corrective works to be carried out along with a timetable for their completion, shall be included for approval in writing by the Local Planning Authority. Any corrective works required shall be carried out in accordance with the approved timetable and subsequently re-surveyed with the findings submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the flood risk is adequately addressed, not increased and users remain safe for the lifetime of the development in accordance with NPPF and Policies of East Herts District Council.

30. All development shall be constructed in accordance with the submitted and approved Flood Risk Assessment dated June 2023, REF 3490 P03, this includes all new residential dwellings to have a finished floor level raised a minimum of 300mm above any flood level and 150mm above the surrounding proposed ground level unless otherwise first approved in writing by the Local Planning Authority.

Reason: To ensure the flood risk is adequately addressed and not increased in accordance with NPPF and Policies of East Herts District Council.

31. Prior to the first use of the development a Flood Emergency Plan shall be submitted to and approved in writing to the Local Planning Authority. The provisions of the Flood Emergency Plan shall be accessible and fully useable before first occupation of the development. The proposed development shall be carried out in accordance with the approved Flood Emergency Plan for the lifetime of the development.

Reason: To ensure the flood risk is adequately addressed, not increased and users remain safe for the lifetime of the development in accordance with NPPF and Policies of East Herts District Council.

32. Prior to the commencement of any above ground construction works for the development hereby approved, details of the sustainability measures to be incorporated within the development shall be submitted to and approved in writing by the Local Planning Authority. These sustainability measures shall be based on the recommendations of Ref: 2087-TN01-Energy and Sustainability Statement by Harniss Consulting and shall include details of:

- Energy efficient construction techniques;
- Energy efficient lighting and fittings;
- Services and controls;
- Efficient energy supply (including details of air source heat pumps, photovoltaics and/or Combined Heat and Power (CHP)); and
- Water efficiency measures, which demonstrate compliance with the water consumption target of 110 litres, or less, per head, per day.

The measures shall be fully implemented and completed prior to first occupation of the development and shall be maintained, in accordance with the approved details for the lifetime of the development.

Reason: In the interests of minimising carbon emissions and promoting sustainable design, in accordance with Policies CC1, CC2 and WAT4 of the East Herts District Plan (2018).

33. The external materials of construction shall be implemented in accordance with the details shown on plan reference 3046-HIA-01-XX-DR-A-0304 rev.P2 and shall be retained in perpetuity.

Reason: In the interests of amenity and good design in accordance with Policy DES4 of the East Herts District Plan 2018.

34. Prior to the first occupation or use of the development hereby approved, details of all boundary walls, fences or other means of enclosure to be erected shall be submitted to and approved in writing by the Local Planning Authority, and thereafter the development should be implemented in accordance with the approved details.

Reason: In the interests of amenity and good design, in accordance with Policy DES4 of the East Herts District Plan 2018.

35. Prior to any above ground works, full details of the proposed Air Source Heat Pump and associated noise impact shall be submitted to and approved in writing by the local planning authority. The development shall then be implemented in accordance with the approved details.

Reason: To ensure the development does not have an impact on the amenities of occupiers in accordance with policy DES4 of the East Herts District Plan (2018) and guidance in the NPPF.

36. Prior to first occupation of any unit hereby approved bird and bat boxes shall be provided along with other works to secure potential for increased biodiversity within the site, in accordance with details that are to be submitted to and agreed in writing by the Local Planning Authority.

Reason: In accordance with the requirements of Policy NE3 of the East Herts District Plan 2018.

37. The windows serving the first and second floor windows in the southern elevation facing 36a Hoe Lane as shown on drawing references 3046-HIA-01-01—DR-A-0211 rev.P8, 3046-HIA-01-00—DR-A-0201 rev.P9, 3046-HIA-01-XX—DR-A-0301 rev.P6 shall be obscure glazed and fixed shut.

Reason: In order to protect the amenities of the occupiers in accordance with policy DES4 of the East Herts District Plan (2018) and guidance in NPPF.

INFORMATIVES

1. This permission does not convey any consent which may be required under any legislation other than the Town and Country Planning Acts. Any permission required under the Building Regulations or under any other Act, must be obtained from the relevant authority or body e.g. Fire Officer, Health and Safety Executive, Environment Agency (Water Interest) etc. Neither does this permission negate or override any private covenants which may affect the land.
2. East Herts Council has considered the applicant's proposal in a positive and proactive manner with regard to the policies of the Development Plan and any relevant material considerations. The balance of the considerations is that permission should be granted.
3. Storage of materials: The applicant is advised that the storage of materials associated with the construction of this development should be provided within the site on land which is not public highway, and the use of such areas must not interfere with the public highway. If this is not possible, authorisation should be sought from the Highway Authority before construction works commence. Further information is available via the website https://www.hertfordshire.gov.uk/services/highways-roads-and-pavements/highways-roads-and-pave_ments.aspx or by telephoning 0300 1234047.
4. Obstruction of public highway land: It is an offence under section 137 of the Highways Act 1980 for any person, without lawful authority or excuse, in any way to wilfully obstruct the free passage along a highway or public right of way. If this development is likely to result in the public highway or public right of way network becoming routinely blocked (fully or partly) the applicant must contact the Highway Authority to obtain their permission and requirements before construction works commence. Further information is available via the website https://www.hertfordshire.gov.uk/services/highways-roads-and-pavements/highways-roads-and-pave_ments.aspx telephoning 0300 1234047.
5. Road Deposits: It is an offence under section 148 of the Highways Act 1980 to deposit mud or other debris on the public highway, and section 149 of the same Act gives the Highway Authority powers to remove such material at the expense of the party responsible. Therefore, best practical means shall be taken at all times to ensure that all vehicles leaving the site during construction of the development are in a condition such as not to emit dust or deposit mud, slurry or other

debris on the highway. Further information is available via the website https://www.hertfordshire.gov.uk/services/highways-roads-and-pavements/highways-roads-and-pave_ments.aspx or by telephoning 0300 1234047.

6. Construction standards for new/amended vehicle access: Where works are required within the public highway to facilitate the new or amended vehicular access, the Highway Authority require the construction of such works to be undertaken to their satisfaction and specification, and by a contractor who is authorised to work in the public highway. If any of the works associated with the construction of the access affects or requires the removal and/or the relocation of any equipment, apparatus or structures (e.g. street name plates, bus stop signs or shelters, statutory authority equipment etc.) the applicant will be required to bear the cost of such removal or alteration. Before works commence the applicant will need to apply to the Highway Authority to obtain their permission and requirements. Further information is available via the website https://www.hertfordshire.gov.uk/services/highways-roads-and-pavements/highways-roads-and-pave_ments.aspx or by telephoning 0300 1234047.
7. Electric vehicle charging point specification for domestic installations cable and circuitry ratings should be of an adequate size to ensure a minimum continuous current demand for the vehicle of 16A and a maximum demand of 32A (which is recommended for Eco Developments).
 - A separate dedicated circuit protected by an RCBO should be provided from the main distribution board to a suitably enclosed termination point within a garage, or an accessible enclosed termination point future connection to an external charging point.
 - The electrical circuit shall comply with the electrical requirements of BS7671:2008 as well as conform to the IET code of practise on Electric Vehicle Charging Equipment Installation 2012 ISBN 978-1-84919-515-7. Additional guidance on charge point installation is available from the Office for Zero Emission Vehicles at <https://www.gov.uk/government/organisations/office-for-zero-emission-vehicles>
8. If bats, or evidence for them, are discovered during the course of works, work must stop immediately, and advice sought on how to proceed lawfully from an appropriately qualified and experienced Ecologist or Natural England to avoid an offence being committed.

9. To protect any mammals commuting through or foraging within the site, any excavations left open overnight should be covered or have mammal ramps (reinforced plywood board >60cm wide set at an angle of no greater than 30 degrees to the base of the pit) to ensure that any animals that enter can safely escape. Any open pipework with an outside diameter of greater than 120mm must be covered at the end of each working day to prevent animals entering / becoming trapped.
10. To protect breeding birds, their nests, eggs and young, development should only be carried out during the period October to February inclusive. If this is not possible then a pre-development (i.e. no greater than 48 hours before clearance begins) search of the area should be made by a suitably experienced ecologist. If active nests are found, then works must be delayed until the birds have left the nest or professional ecological advice taken on how best to proceed.
11. During any site preparation, demolition and construction phase the guidance in BS 5228- 1:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites' should be adhered to.
12. The applicants are advised to contact Thames Water on the following matters:

Ground Water
Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing trade.affluent@thameswater.co.uk
Application forms should be completed online via www.thameswater.co.uk.

Surface Water
<https://www.thameswater.co.uk/developers/larger-scale-developments/planning-your-development/working-nearour-pipes>
Public Sewers
<https://www.thameswater.co.uk/developers/larger-scaledevelopments/planning-your-development/working-near-our-pipes>
13. The developers are advised to contact Developer Services Team to discuss asset protection or diversionary measures on My Developments Portal (<https://affinitywater.custhelp.com/>) or aw_developerservices@custhelp.com
To apply for a new or upgraded connection, please contact our Developer Services Team on My Developments Portal (<https://affinitywater.custhelp.com/>) or

aw_developerservices@custhelp.com The Team also handle C3 and C4 requests to cost potential water mains diversions. If a water mains plan is required, this can also be obtained by emailing maps@affinitywater.co.uk

Plans

Plan Ref	Version	Received
3046 HIA 01 00 DR A 0201	P9	15th January 2025
3046 HIA 01 01 DR A 0211	P8	4th July 2023
3046 HIA 01 02 DR A 0221	P8	4th July 2023
3046 HIA 01 03 DR A 0231	P6	4th July 2023
3046 HIA 01 B0 DR A 0200	P7	4th July 2023
3046 HIA 01 XX DR A 0301	P6	4th July 2023
3046 HIA 01 XX DR A 0302	P4	4th July 2023
3046 HIA 01 XX DR A 0304	P2	2nd November 2022
3046 HIA 01 00 DR A 0101	P6	4th July 2023
3046 HIA ZZ XX DR A 0100		2nd November 2022
B202057 AL(0)001		10th November 2022
B202057 AL(0)002		10th November 2022
B202057 AL(0)003		10th November 2022
P22-00682-MET-EXT-XX-ELE-M2-B-001-1		8th November 2022
P22-00682-MET-EXT-XX-TOP-M2-G-001-1		8th November 2022
Transport Assessment		2nd November 2022
3046-HIA-01-XX-DR-A-0402		26th February 2024